



## Committee of Adjustment Meeting Agenda

**May 10, 2023, 6:00 p.m.  
Committee Meeting Room**

The personal information contained in your correspondence to Oshawa Committee of Adjustment is collected under the Municipal Act, 2001. Any personal information you choose to disclose in your correspondence will be used to receive your views on the relevant issue(s) to enable the City to make its decision on the matter. This information will become part of the public record.

If you have inquiries or accessibility needs and require alternate formats or other accommodations please contact Committee of Adjustment by telephone 905 436 3853 or by email at [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca) or in person.

Members of the public are invited to provide written comments regarding any application to the Secretary-Treasurer of the Committee of Adjustment and/or attend the public hearing to express your comments to submit correspondence concerning this matter. Please address your comments to [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca) by 4:30 p.m. on May 10, 2023 in order for your correspondence to be provided to Committee members.

The City of Oshawa's Committee of Adjustment Calendar webpage ([www.oshawa.ca/cofacalendar](http://www.oshawa.ca/cofacalendar)) shows upcoming meetings, agendas and a link to the live webstream player to enable easy access to view the meeting live.

### **Oshawa Committee of Adjustment**

The Committee of Adjustment has five members appointed by Council and its responsibilities and conduct are governed primarily by Ontario's Planning Act, and related Regulations.

Below are the members of the Committee of Adjustment:

Andrew Johnson  
Dean Lindsay  
Douglas Thomson  
Fred Eismont  
Robert Adams

The Committee of Adjustment primarily considers all minor variances to the provisions of Zoning By-law 60-94, as amended, and extensions, enlargements or variations to existing legal non-conforming uses.

## **Adoption of Committee Minutes**

### Recommendation

That the minutes of the Committee of Adjustment meeting held on date be adopted.

## **Staff Reports**

### **A-2023-05      571 Raglan Road East**

Sharon Creasor on behalf of Ronald and Valerie Linton

To permit a dwelling in portable buildings for up to 10 agricultural workers employed on the farm, as an accessory use to an agricultural use, in addition to a farm dwelling

### **A-2023-08      24 and 26 Fairbanks Street**

D. G. Biddle and Associates Ltd. on behalf of Victorious Properties Inc.

To permit an apartment building with reduced lot frontage, front yard depth, side yard depth, landscaped open space and aisle width, and increased density and lot coverage

### **A-2023-40      210 Prince Street**

Joel Gerber on behalf of Richard Summers

To permit an apartment building with a parking space in the front yard, increased density, and reduced lot frontage, interior side yard depth, landscaped open space, distance of a parking space to a street line and parking space width adjacent to a solid wall

### **A-2023-41      307 Simcoe Street South**

Eva Mueller

To permit an apartment building with increased density and lot coverage, and reduced front, interior and exterior yard depths, lot frontage, and landscaped open space

### **A-2023-44      433 Simcoe Street South**

Jennifer Park on behalf of 266779 Ontario Inc.

To permit a place of amusement as an accessory use with increased number of amusement machines

**A-2023-45      2660 Ritson Road North**

Michael Shirzadfar on behalf of Igor Mattos Silverio

To permit a single detached dwelling with reduced front yard depth, rear yard depth, and increased front porch and rear deck encroachments

**A-2023-46      97-103 Albert Street**

Mayu Balasubramaniam on behalf of Saththijesvaran Kathiravelu

To permit an expansion of a legal non-conforming automobile repair garage

**A-2023-47      315-317 Celina Street**

D. G. Biddle and Associates on behalf of Wealth Blume and Sri Lankeswaran

To permit an apartment building with reduced lot frontage, side yard depth, front yard depth and landscaped open space, and increased lot coverage and density

**A-2023-48      435 Stonegate Avenue**

Zaid Salem of Nuovo Engineering Services on behalf of Denise Ranger

To permit a single detached dwelling with an accessory apartment with reduced front yard landscaped open space and parking space width

**A-2023-49      435 Maplewood Drive**

Lonny Gibson of Hull Drafting on behalf of Janet Montague

To permit a semi-detached dwelling with an accessory apartment with an existing tree within a driveway sight triangle, and reduced front yard landscaped open space and parking space width

If you wish a copy of the Decision and/or Notices of future Committee of Adjustment meetings concerning an application listed above, fill in the information below and return to the Secretary-Treasurer or send an email to [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca). Thank you.

**File Number:** \_\_\_\_\_

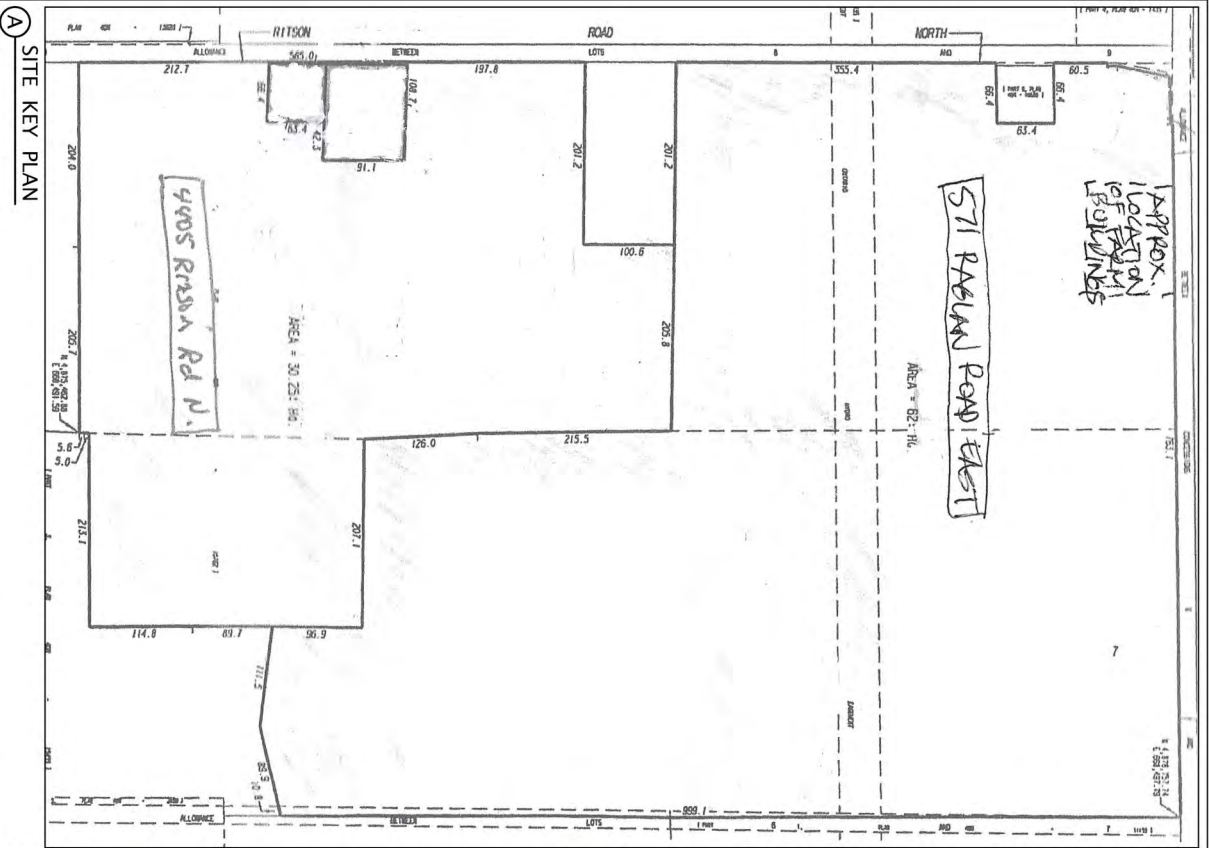
**Name:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Postal Code:** \_\_\_\_\_

**E-Mail Address:** \_\_\_\_\_

Address: 571 Raglan Road East



- GENERAL NOTES:**
- ZONING VARIANCE SOUGHT FOR CAMP FOR MIGRANT FARM WORKERS, IN RURAL ZONE THAT ONLY ALLOWS ONE DWELLING UNIT.
  - CAMP FOR MIGRANT FARM WORKERS TO CONSIST OF TWO FORMER SCHOOL PORTABLES CONVERTED TO SEASONAL LIVING QUARTERS WITH A MAXIMUM OCCUPANT LOAD OF 10 WORKERS.
  - ONE CONVERTED PORTABLE HAS BEEN USED FOR OVER 15 YEARS AS MIGRANT WORKER LIVING QUARTERS.
  - ADDITION OF A NEW CONVERTED PORTABLE IS PROPOSED - SEE DRAWING A2 AND A3 FOR PROPOSED LOCATION ADJACENT TO EXISTING PORTABLE PLUS BREEZEWAY THAT CONNECTS THE TWO PORTABLES.

This drawing, as an instrument of service, is provided by and is the property of Canadian Building Design. The contractor must verify and accept responsibility for all information and data used in the design. Any variations from the original information or data supplied to the designer, including but not limited to, mechanical, electrical or engineering information shown on drawings, shall be the responsibility of the contractor and must be confirmed in writing before proceeding with the work. Construction must conform to all applicable codes and requirements of authoritative governing jurisdiction. This instrument is valid in the Province of Ontario.

23/03/20	1	REV. & RE-CISSUED TO CADA	SC
23/07/18	1	ISSUED FOR CADA APPLICATION	SC
23/07/18		No. Description	SC

Make use of printed details provided in the title block.

REVISIONS & SETS ISSUED



PROJECT: Camp for Housing Workers

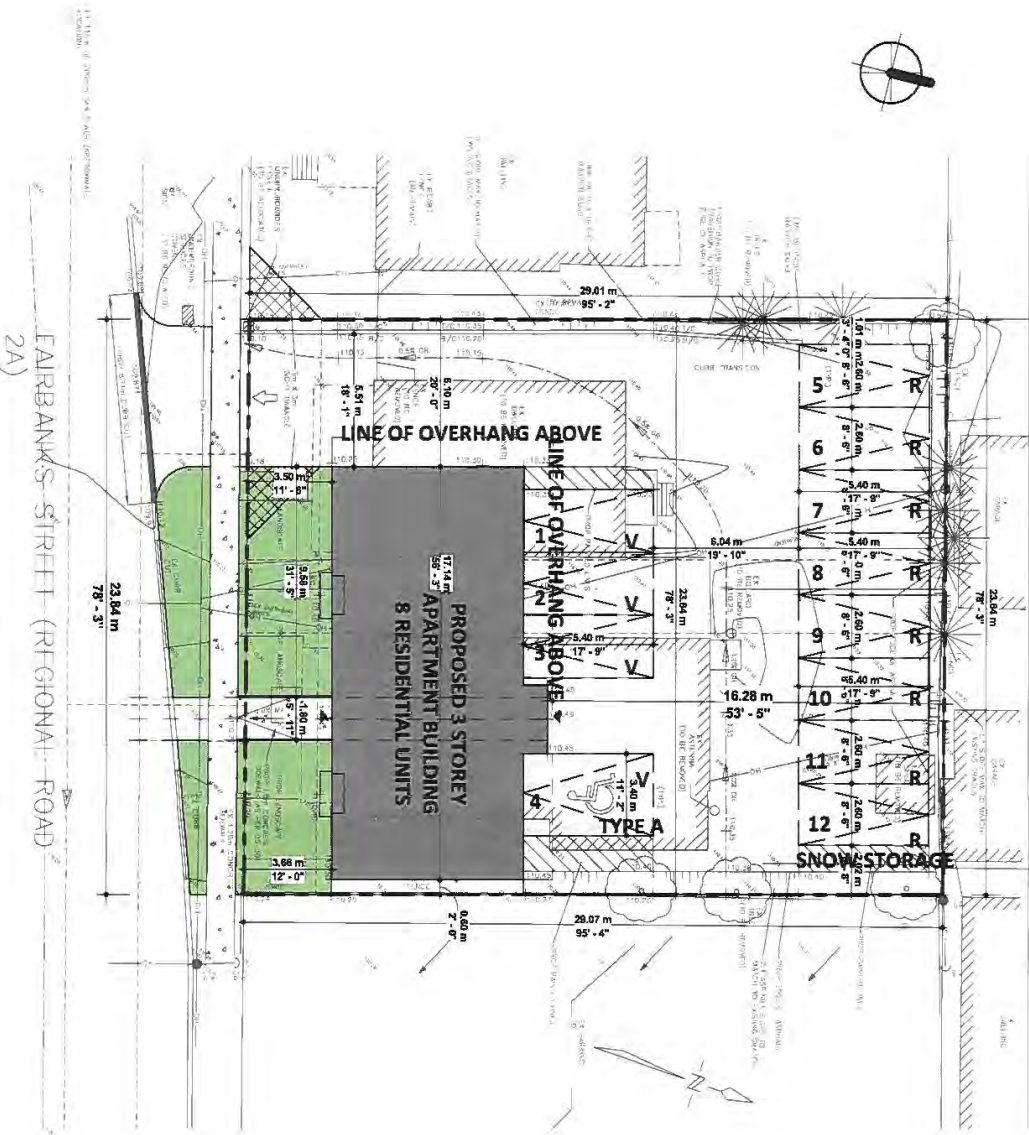
LOCATION: 571 Raglan Rd. East  
Oshawa, ON

DRAWING NAME: Site Key Plans & Notes

Date: Jan. 2022	Scale: N.T.S.
Project Month:	Drawn By: SC
Project No: 2202	Checked By: SC
	DWG. No.: A1

Address: 24 & 26 Fairbanks Street

City of Oshawa  
Economic and Development Services



SITE STATISTIC	
ZONING BY-LAW	M5-B
MIN. REQUIRED LOT AREA	N/A
EXISTING LOT AREA	692.18 M <sup>2</sup>
MIN REQUIRED LOT FRONTAGE	25 M
EXISTING LOT FRONTAGE	23.84 M
ELEV. @ C/L STREET	110.14
ESTABLISHED GRADE @ FRONT	110.33
BUILDING STATISTIC	
SETBACKS	PERMITTED / PROPOSED
FRONT	6.50 M / 3.50 M
SIDE	1.50 M PER STOREY / 0.60 M - EAST
SIDE	1.50 M PER STOREY / 6.10 M - WEST
REAR	16.0 M / 16.28 M
HEIGHT	16.0 M / 16.28 M
TOP OF ROOF	13.0 M / 11.75 M
FLOOR AREA CALC.	
1ST FLOOR AREA	133.53 M <sup>2</sup>
2ND FLOOR PLAN	159.28 M <sup>2</sup>
3RD FLOOR AREA	159.28 M <sup>2</sup>
BASEMENT AREA	133.53 M <sup>2</sup>
TOTAL GFA	452.09 M <sup>2</sup>
DENSITY [E.S.1]	
PERMITTED	5 UNITS - 85 UNITS PER HECTARE
PROPOSED	8 UNITS
COVERAGE	
PERMITTED	%22
PROPOSED	159.28 M <sup>2</sup> [%42.02]
PARKING	
REQUIRED	11 [1.33 PER UNIT]
DRIVEWAY WIDTH	
REQUIRED	6.50 M
PROPOSED	5.50M
DRIVE AISLE WIDTH	
REQUIRED	6.50 M
PROPOSED	6.04M

**SITE PLAN**

REZA ASHKEVARI  
FAIRBANK RESIDENTIAL APARTMENT

Project number: 2023-04-10  
Date: 2023-04-10  
Drawn by: EZ  
Checked by: FA  
Scale: As indicated

**A001**

11/04/2023 4:59:40 pm

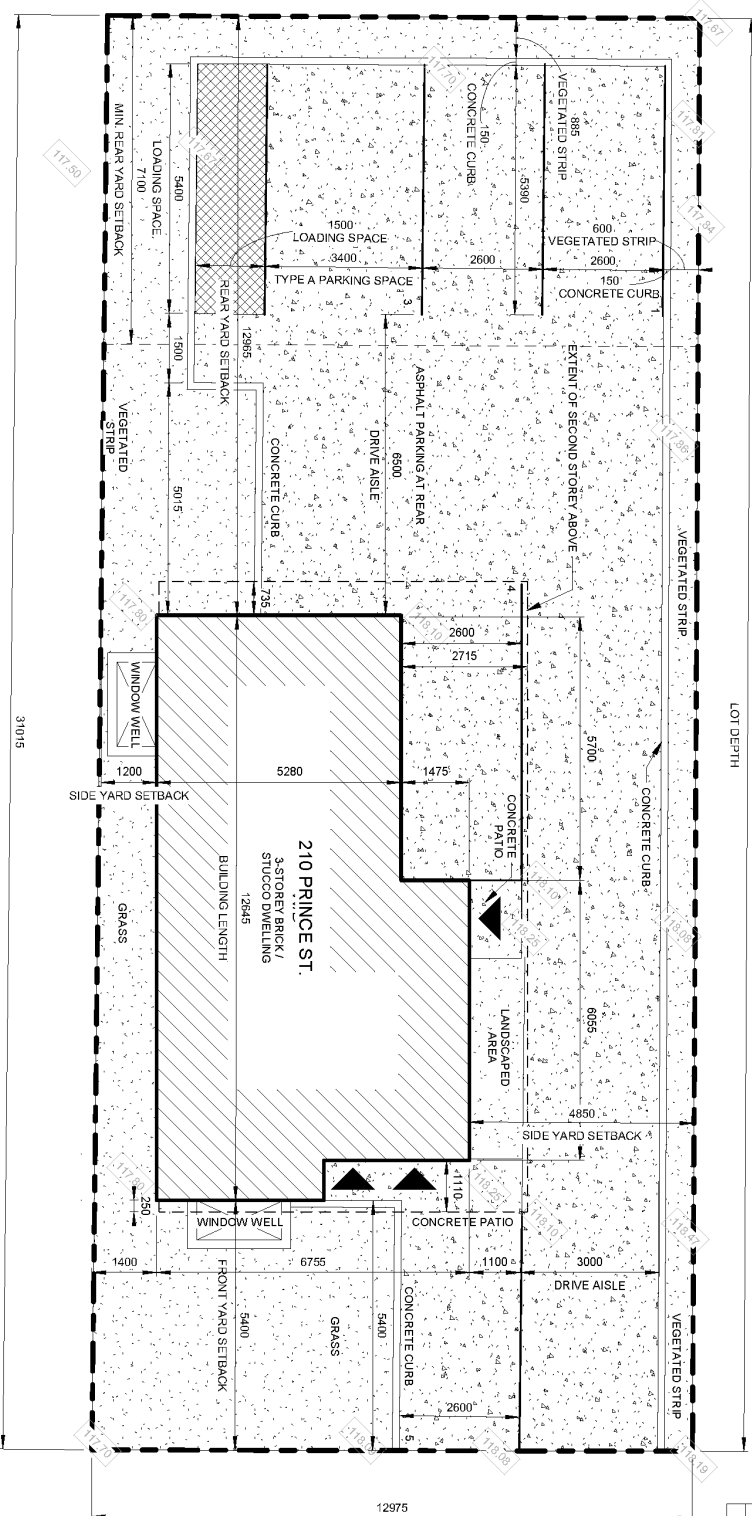
**FAR Architect Inc.**  
95 Mural St. Richmond Hill  
Ontario, L4B 3G2  
T. 416-900-3566  
F. 416-900-3577  
E. farhad@fararchitect.com

Address: 210 Prince Street

City of Oshawa  
Economic and Development Services



NOTE:  
PROPERTY INFORMATION BASED ON SURVEY BY IBW  
SURVEYORS O.L.S. DATED JUNE 16, 2022



SITE DATA 210	
MUNICIPAL ADDRESS:	210 PRINCE ST. OSHTAWA ON, L1G 4E7
ZONING:	R3A / RS-A / R7-A
LOT AREA:	4,300 sf (399.4m <sup>2</sup> )
LOT DEPTH:	101' 8" (31.0m)
LOT FRONTAGE:	42' 7" (13.0m)
BUILDING SETBACKS...	
FRONT	17' 9" (5.4m)
REAR	42' 7" (13.0m)
SIDE (N)	15' 11" (4.9m)
SIDE (S)	3' 11" (1.2m)
GROSS FLOOR AREA...	
GROUND FLOOR:	800 sf (74.3m <sup>2</sup> )
SECOND FLOOR:	1,167 sf (108.4m <sup>2</sup> )
THIRD FLOOR:	1,167 sf (108.4m <sup>2</sup> )
TOTAL:	3,134 sf (291.1m <sup>2</sup> )
LENGTH OF DWELLING	40' 5" (12.3m)
LOT COVERAGE	800 sf (74.3m <sup>2</sup> )
	18.6% OF LOT AREA
LANDSCAPED AREA	1,162sf (109.8m <sup>2</sup> )
	28.0% OF LOT AREA

**AS102A**  
**SITE PLAN -**  
**PROPOSED**  
**NEW MULTI-UNIT BUILDING**  
210 PRINCE ST.  
PROJECT No: 07018

SCALE: 1 : 100  
MARCH 2023



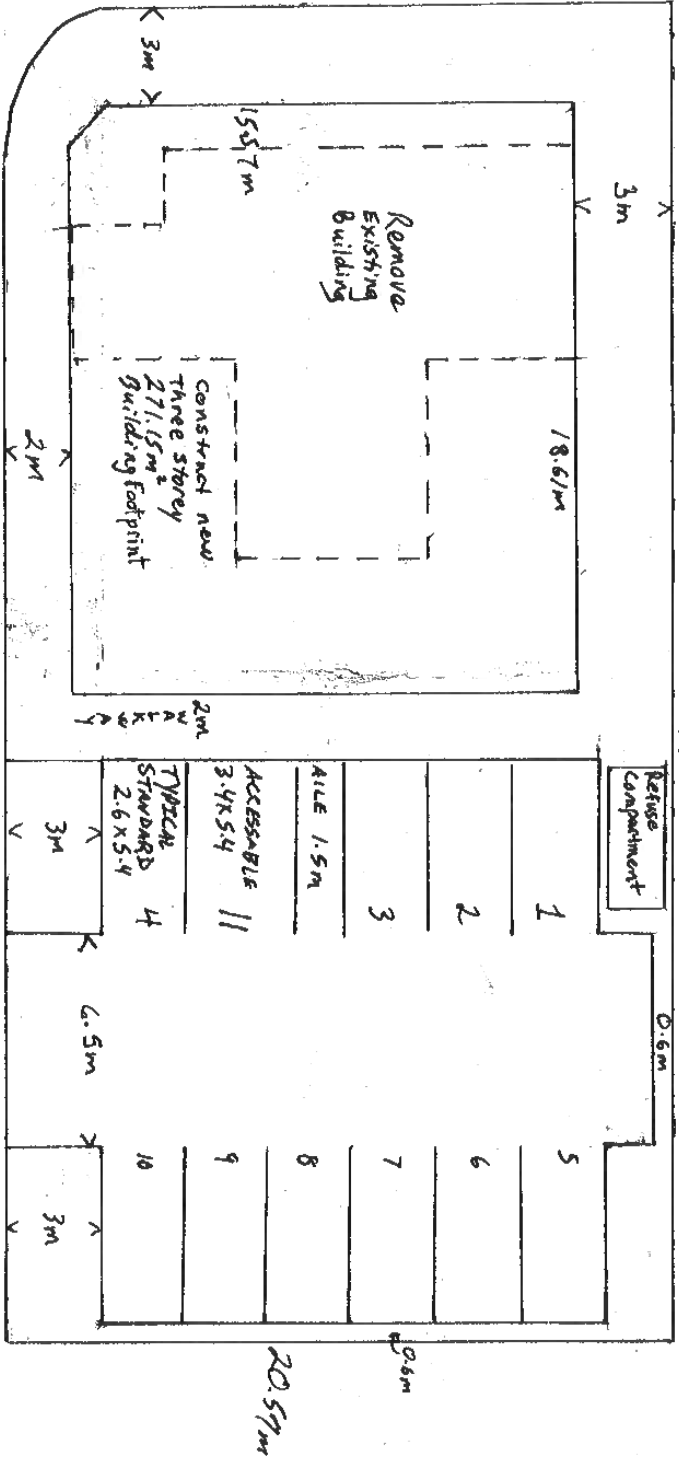
**GENERAL NOTES**

1. THIS SITE PLAN AND ANY OTHER INFORMATION HEREON IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

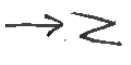
**JOEL GERBER ARCHITECT**  
73 BONGER AVENUE  
SUITE 100  
SCARBOROUGH, ONTARIO M1V 4Y4 CANADA  
1-416-292-6155  
JOEL@JOELGERBERARCHITECT.COM

No.	ISSUED FOR C/A	DESCRIPTION	DATE
1	ISSUED FOR C/A	DESCRIPTION	2023-03-28
			YYYYMMDD

Address: 307 Simcoe Street South



307 Simcoe St South  
 8 residential units  
 11 parking spaces  
 Site Area 859.453 m<sup>2</sup>



1:200

Revised Serv. Unit APP# 2023-0011117



### Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on May 10, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File A-2023-44) submitted by **Jennifer Park on behalf of 266779 Ontario Inc.** for **433 Simcoe Street South** (PL 41 LT 26 PT LT 25,27 28, CLOSED CELINA ST PT PL 335 SHEET 20 LT C37, LT C38 LT C41), Oshawa for minor variances from the City’s Zoning By-law 60-94.

**Purpose and Effect:** The purpose and effect of the application is to permit a place of amusement as an accessory use in a retail store and personal service establishment with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a place of amusement in a PSC-A (Planned Strip Commercial) Zone.

Zoning Item	Column 1	Column 2
Place of Amusement as an Accessory Use to a Retail Store and Personal Service Establishment	To permit	Not permitted
Maximum Number Of Amusement Machines	30	15

You have been sent this notice because you own land close to the subject property.

#### Meeting

This public meeting is open to the public and will take place in person in the C-Wing Committee Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on May 10, 2023.

Members of the public are invited to submit correspondence concerning this matter. Please address your comments to the City Contact shown below by 4:30 p.m. on May 10, 2023 in order for your correspondence to be provided to Committee members for the May 10, 2023 public meeting.

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**City Contact:** Erika Kohek, Oshawa City Hall, 50 Centre Street South, Oshawa, Ontario L1H 3Z7 or by telephone at 905-436-3311, extension 2519 or by email to [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca).

**How to submit written comments:** Written comments to the Committee must be received no later than 4:30 pm on May 10, 2023. Submissions are accepted by email at [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca) or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

**To Obtain Additional information:** For more information, contact the City Contact as shown above between 8:30 am and 4:30 pm Monday to Friday.

**To Access the Report:** A copy of the staff report is available by contacting the City Contact as shown above, after 3:00 pm, on May 5, 2023 or any day thereafter.

**Accessibility:** The City of Oshawa is committed to providing services as set out in the Accessibility for Ontarians with Disabilities Act, 2005. If you have accessibility needs and require alternate formats or other accommodations please contact the City Contact as shown above no later than May 8, 2023. Advance requests are highly encouraged to enable us to meet your needs adequately.



**Freedom of Information and Protection of Privacy Act:** Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

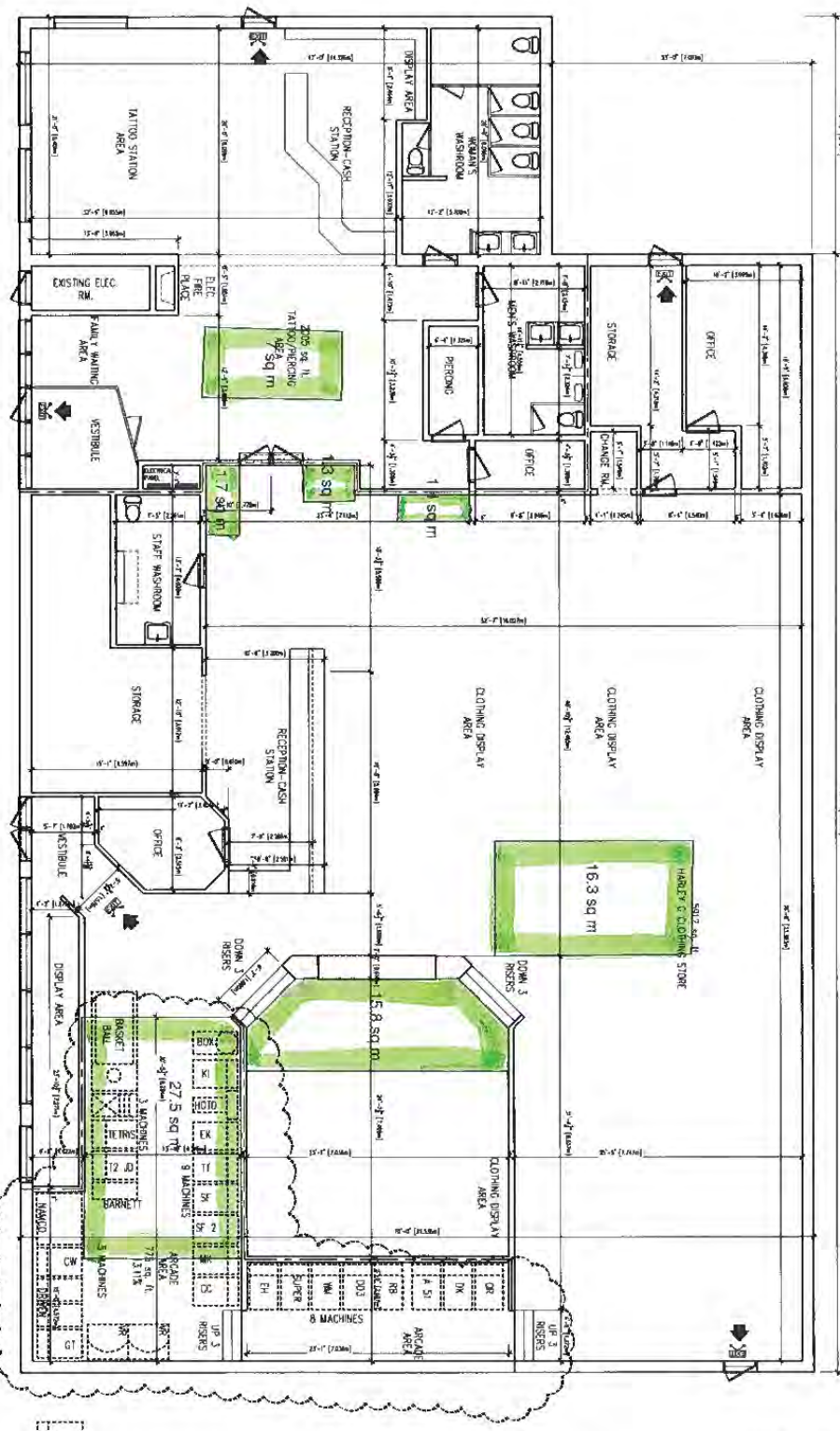
This Notice issued April 28, 2023.

Address: 433 Simcoe Street South



City of Oshawa  
Economic and Development Services

ADMIN: P:\2023\433 SIMCOE SOUTH\433 SIMCOE SOUTH\WALLER G - 2023-05-24 - 2:17:12 PM



433 SIMCOE ST. S.

**Uni-vative Designs Inc.**  
1809 Scugog St. Iron Pony, ON L1L 1J1  
Phone: (416) 926-7413  
Website: www.univativedesigns.com

**433 SIMCOE ST. S.**  
OSHAWA, ONTARIO

**Uni'l Name**

Scale: 3/16" = 1'-0"

Page Number: of

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## Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on **May 10, 2023** at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-45**) submitted by **Michael Shirzadfar on behalf of Igor Mattos Silverio** for **2660 Ritson Road North** (CON 5 PT LT 9), Oshawa for minor variances from the City's Zoning By-law 60-94.

**Purpose and Effect:** The purpose and effect of the application is to permit a single detached dwelling with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a single detached dwelling in an OSR-A (Rural Open Space) Zone.

Zoning Item	Column 1	Column 2
Minimum Front Yard Depth	6.1m	15m
Minimum Rear Yard Depth	6m	10m
Maximum Encroachment of Porch into Required Front Yard	3.2m	2.4m
Maximum Encroachment of Deck into Required Rear Yard	3.4m	2.4m

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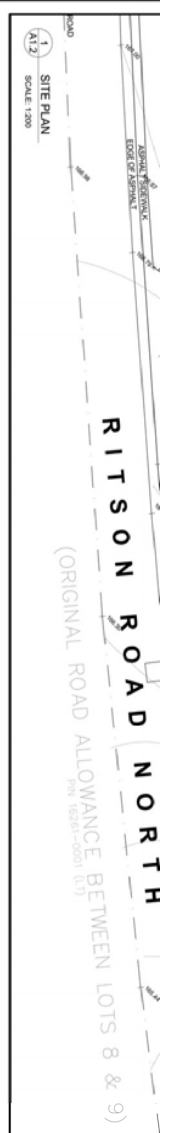
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This Notice issued April 28, 2023.

Address: 2660 Ritson Road North

Economic and Development Services



DATE	3/27/2023	PROJECT NUMBER	A1,2
SCALE	1:200	PREPARED BY	CHARLES C. 20337
DATE	3/27/2023	APPROVED BY	4.2.2.3
SITE PLAN		SITE PLAN	



Committee of Adjustment

File: **A-2023-46**

Ward: **4**

## **Notice of Hearing under the Planning Act Concerning an Application for a Enlargement or Extension of a Non- Conforming Building or Structure**

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on **May 10, 2023** at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-46**) submitted by **Mayu Balasubramaniam on behalf of Saththijesvaran Kathiravelu** for **97-103 Albert Street** (PL 33 PT LT 43, 44), Oshawa for minor variances from the City's Zoning By-law 60-94.

**Purpose and Effect:** The purpose and effect of the applications are to permit the expansion of a legal non-conforming automobile repair garage, whereas Zoning By-law 60-94 does not permit an automobile repair garage in a R2/R3-A/R6-B/R7-A (Residential) Zone.

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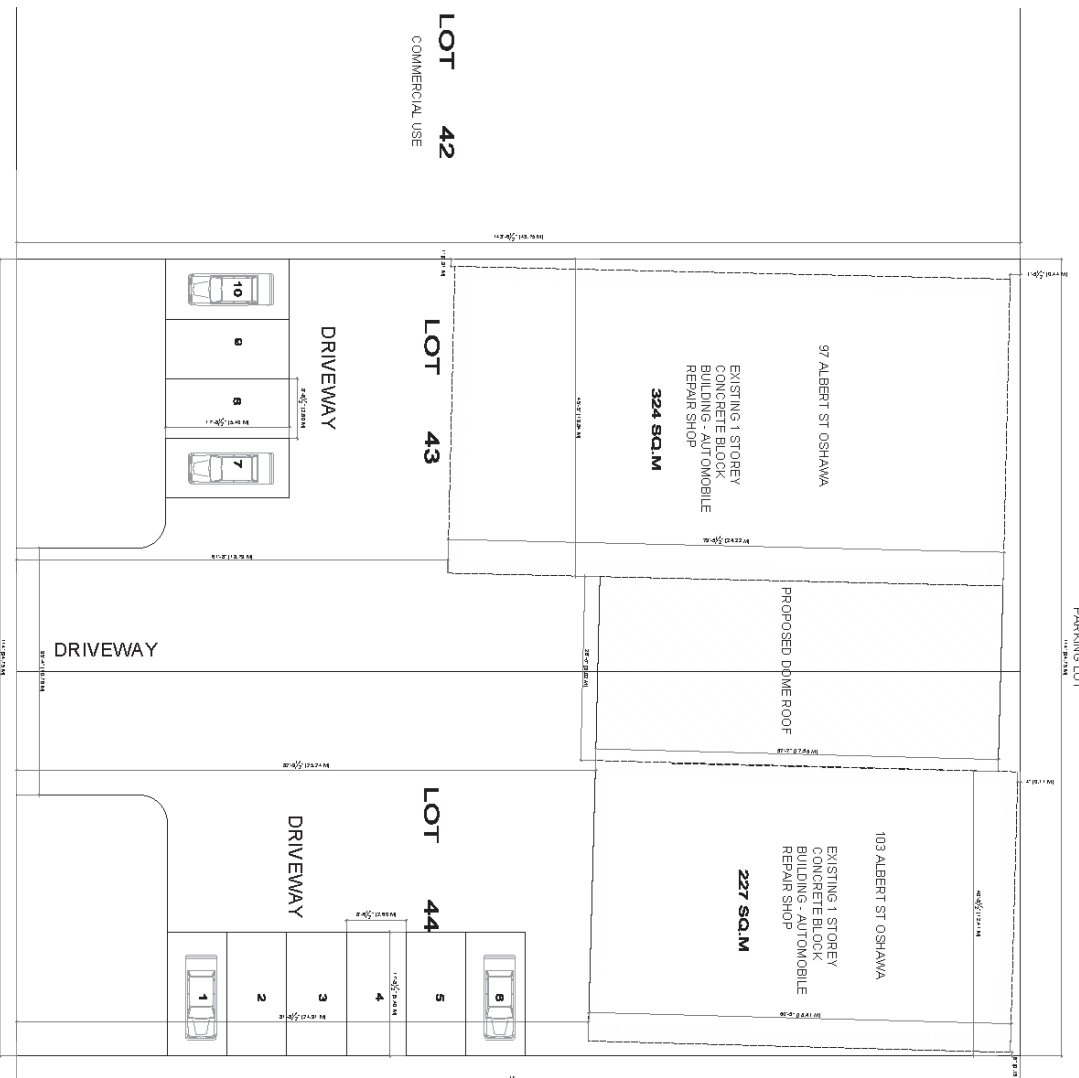
This Notice issued April 28, 2023.

Address: 97-103 Albert Street

Economic and Development Services



PLAN OF SURVEY  
OF LOCATION OF BUILDING ON PART OF  
LOT 43 & 44 REGISTERED PLAN N 33  
CITY OF OSHAWA  
REGIONAL MUNICIPALITY OF DURHAM



GENERAL NOTES:  
1) ALL DRAWINGS AND DETAILS ARE COPYRIGHTED AND NO PART OF  
THESE DRAWINGS OR DETAILS ARE TO BE REPRODUCED OR  
TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR  
MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY  
ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT  
THE WRITTEN PERMISSION OF THE DESIGNER.  
2) CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND  
LOCATIONS BEFORE PROCEEDING WITH CONSTRUCTION.  
3) NOT TO SCALE DIMENSIONS.

NO.	DESCRIPTIONS	YYYY/MM/DD

**V. VIVIA**  
REGISTERED PROFESSIONAL ENGINEER  
PROVINCIAL SOCIETY OF ENGINEERS  
ONTARIO  
LICENSE NO. 42473

3031-32 SOUTH HUNTINGVILLE  
MARKHAM, ONTARIO L3R 9S5  
TEL.: 416-276-8902

SITE: 97/103 ALBERT ST., OSHAWA  
PROJECT: PROPOSED AUTOMOBILE REPAIR SHOP

DATE: DEC. 19, 2022  
SCALE: 1/8" = 1'-0"  
DRAWING NO.: SP1  
SHEET NO.: 1/1



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**Purpose and Effect:** The purpose and effect of the application is to permit an apartment building with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for an apartment building in a R2/R3-A/R6-B/R7-A (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Lot Frontage	14.9m	25m
Minimum Interior Side Yard Depth	0.0m	1.5m per storey
Minimum Front Yard Depth	1.9m	6.0m
Minimum Landscaped Open Space	19%	35%
Maximum Lot Coverage	29.5%	22.0%
Maximum Density	90 units per hectare	85 units per hectare

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**How to submit written comments:** Written comments to the Committee must be received no later than 4:30 pm on May 10, 2023. Submissions are accepted by email at [committeeofadjustment@oshawa.ca](mailto:committeeofadjustment@oshawa.ca) or by mailing the Committee of Adjustment at the address shown above. Please include your name, your address and application number or address of the property you are providing comments on.

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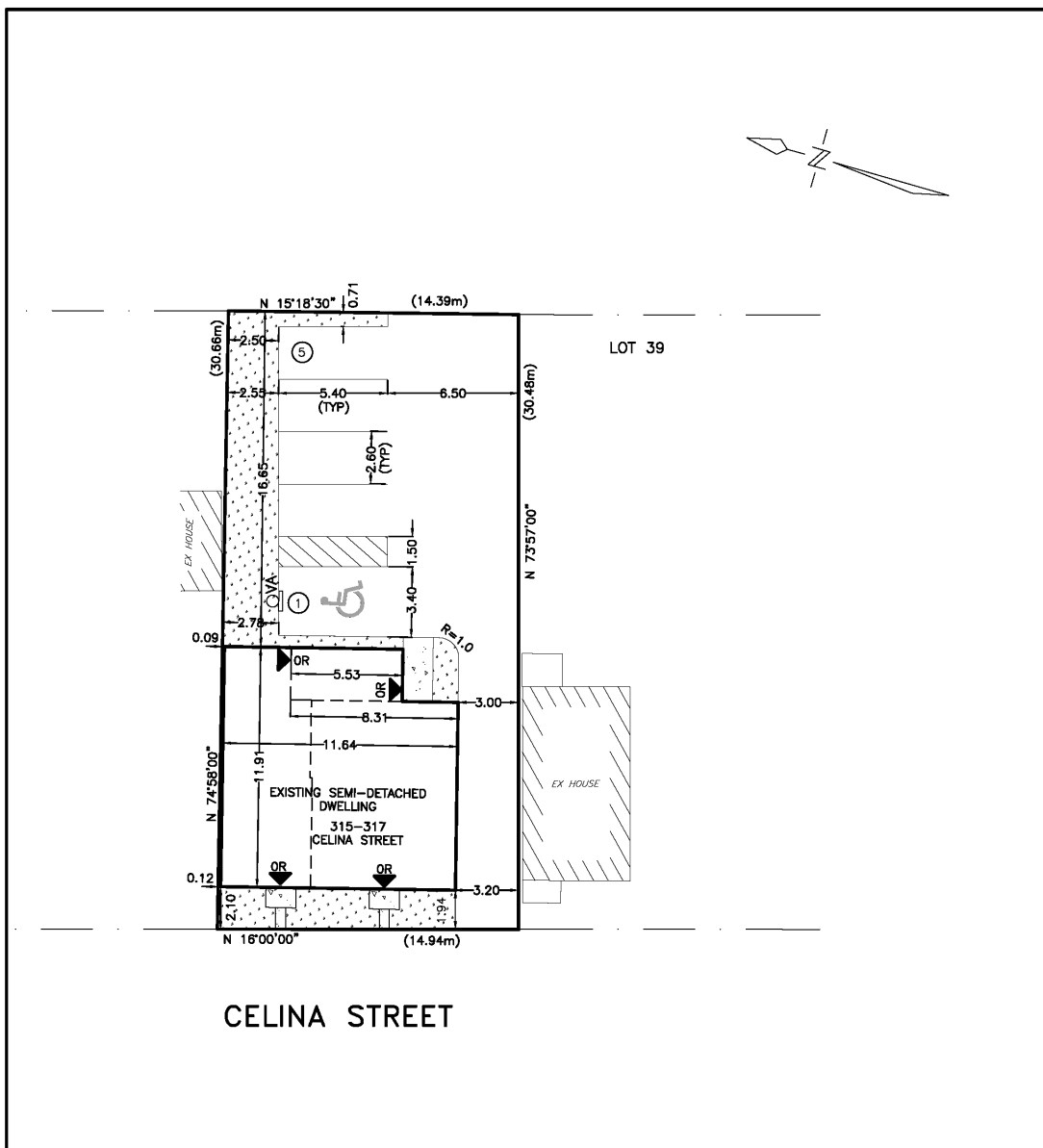
**Freedom of Information and Protection of Privacy Act:** Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.

This Notice issued April 28, 2023.

Address: 315-317 Celina Street



City of Oshawa  
Economic and Development Services



CELINA STREET

- NOTES**
- BUILDER TO VERIFY SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION
  - BUILDER TO ENSURE MINIMUM 1.2m COVER ON ALL FOOTINGS. FOOTINGS TO BEAR ON UNDISTURBED NATIVE SOIL, OR WHERE REQUIRED, ENGINEERED FILL.
  - UNDERSIDE OF FOOTING MAY BE LOWER THAN ELEVATION NOTED DUE TO EXISTING CONDITIONS. EXACT DEPTH OF FOOTING TO BE DETERMINED ON SITE DURING EXCAVATION FOR FOOTING.
  - WHERE SEPARATION BETWEEN HOUSES IS LESS THAN 1.2m, PLACE 19mm CRUSHED STONE TO A DEPTH OF 100mm IN PLACE OF TOPSOIL & SO. A POSITIVE GRADE AWAY FROM THE HOUSE AT SUBGRADE LEVEL IS MANDATORY (AS PER STD No.303)

**CONSULTANTS DECLARATION:** I HEREBY CERTIFY THAT THE BUILDING TYPE, APPURTENANT GRADING, DRAINAGE AND SERVICING FOR THIS LOT COMPLIES WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS IN CONFORMITY WITH THE MASTER GRADING PLAN REVIEWED AS APPENDICES TO THE SUBDIVISION AGREEMENT AND WITH ADJACENT LANDS FOR BOTH DRAINAGE AND RELATIVE ELEVATIONS. THE PROPOSED DRIVEWAY LOCATION HAS BEEN LOCATED IN CONFORMANCE WITH THE UTILITY COORDINATION PLAN(S) (UCP). THE DRIVEWAY IS SITUATED A MINIMUM CLEARANCE OF 1 METRE FROM ANY ABOVE GRADE UTILITY STRUCTURE.

DATE:.....REVIEWED BY:.....

PARKING INFORMATION		
	REQUIRED	PROPOSED
APARTMENT (1 P/DWELLING 0.33 P/VISITOR)	5	5
<b>TOTAL</b>	<b>5</b>	<b>5</b>

ZONING INFORMATION		
ZONING: R6		
LOT AREA	448.23m <sup>2</sup>	
BUILDING AREA 19	131.39m <sup>2</sup>	
	REQUIRED	PROPOSED
MAX LOT COVERAGE	22.0%	29.3%
MIN LOT FRONTAGE	25.0m	14.94m
SIDE YARD SET BACK	1.5m/STOREY	0.09m
DRIVE AISLE	6.5m	3.00m
REAR YARD SET BACK	16.0m	16.65m
MIN LANDSCAPE	35.0%	19.01%
PARKING REQUIREMENTS	5 SPACES	5 SPACES
MAX DENSITY UPH	85 UPH	90 UPH

NO.	DATE	REVISION	BY

**315-317 CELINA STREET, CITY OF OSHAWA**

**D.G. Biddle & Associates Limited**  
consulting engineers and planners  
96 KING STREET EAST • OSHAWA, ON • L1H 1B6  
PHONE (905) 576-8500 • FAX (905) 576-9730  
info@dgbidle.com

SCALE	1:200	PROJECT	122158
DRAWN	S.S.G.		
DESIGN	S.S.G.		
CHECKED	K.G.K.	DWG	SP-1
DATE	DEC 2022		

X:\JOB FILES\122000\122158 - 315-317 CELINA STREET - OSHAWA\122158 DRAWINGS\122158 SITE PLAN.DWG

H:\PLAN07.H\Mgm\09>Data Trans\Attachments - Committee\Attachment\202306 - May\10pds\A-2023-47.pdf

## Notice of Hearing under the Planning Act Concerning an Application for Minor Variances

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on May 10, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-48**) submitted by **Zaid Salem of Nuovo Engineering Services on behalf of Denise Rangers** for **435 Stonegate Avenue** (PL 40M1838 LT 124), Oshawa for minor variances from the City's Zoning By-law 60-94.

**Purpose and Effect:** The purpose and effect of the application is to permit a single detached dwelling with an accessory apartment with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for a single detached dwelling with an accessory apartment in a R1-E (Residential) Zone.

Zoning Item	Column 1	Column 2
Minimum Landscaped Open Space in Front Yard	42%	50%
Minimum Parking Space Width	2.6m	2.75m

You have been sent this notice because you own land close to the subject property.

### Meeting

This public meeting is open to the public and will take place in person in the C-Wing Committee Room, Oshawa City Hall, 50 Centre Street South. Members of the public wishing to verbally address the Committee through electronic means rather than appear in-person to make a delegation are required to submit their request to the City Contact shown below by 4:30 p.m. on May 10, 2023.

Members of the public are invited to submit correspondence concerning this matter. Please address your comments to the City Contact shown below by 4:30 p.m. on May 10, 2023 in order for your correspondence to be provided to Committee members for the May 10, 2023 public meeting.

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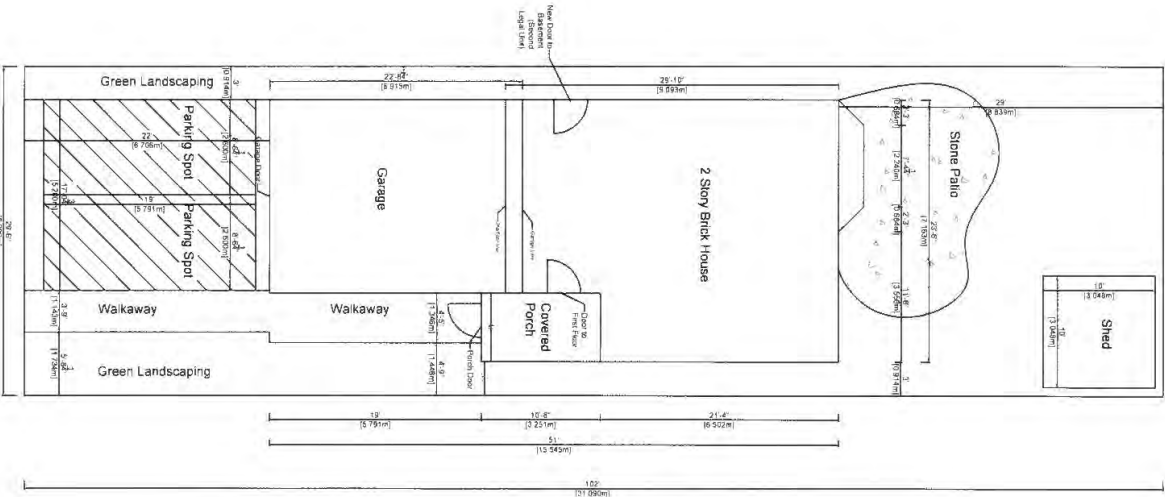
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This Notice issued April 28, 2023.

Address: 435 Stonegate Avenue

City of Oshawa  
Economic and Development Services



- Lot Area = 3009.00 sq ft (279.54 sq m)
- 2 Story Brick House Area = 670.18 sq ft (62.26 sq m)
- Covered Porch Area = 66.78 sq ft (6.11 sq m)
- Garage Area = 393.23 sq ft (36.53 sq m)
- Shed Area = 100.00 sq ft (9.29 sq m)
- Second Legal Unit Area (Basement) (from exterior walls) = 790.09 sq ft (73.45 sq m)
- First Floor Area (from exterior walls) = 623.98 sq ft (57.96 sq m)
- Second Floor Area (from exterior walls) = 659.54 sq ft (61.27 sq m)
- Total F.Y. area 60,298 sq m
- Driveway 34.84 sqm
- open space landscape 25,445 sqm (25,456.029) . 42%
- 50% of front yard area required as open space landscape



General Notes  
1- The contractor Will Verify All Dimensions for The Work And Shall Report Any Discrepancies of the work  
2- Drawing are not to be scaled for construction

Site Plan

NO.	Revision/Amend.	DATE

Prepared by and issued:  
NUOVO ENGINEERING SERVICES  
202 2395 CAWTHRA RD  
MISSISSAUGA ON L5A 2W8  
905/7651551

Project Name and Address  
435 Stonegate Ave

Project No.  
13-12-22  
Scale  
1:130  
AO



## **Notice of Hearing under the Planning Act Concerning an Application for Minor Variances**

**Notice** is hereby given that the Oshawa Committee of Adjustment will be holding a public hearing on May 10, 2023 at 6:00 p.m. to consider the Committee of Adjustment Application (File **A-2023-49**) submitted by **Lonny Gibson of Hull Drafting on behalf of Janet Montague** for **435 Maplewood Drive** (PL M136 S PT LT 4), Oshawa for minor variances from the City’s Zoning By-law 60-94.

**Purpose and Effect:** The purpose and effect of the application is to permit a semi-detached dwelling with an accessory apartment with the variances in Column 1 below, instead of the requirements in Column 2 below, as required by Zoning By-law 60-94 for semi-detached dwelling with an accessory apartment in a R2 (Residential) Zone.

<b>Zoning Item</b>	<b>Column 1</b>	<b>Column 2</b>
Minimum Landscaped Open Space in the Front Yard	42%	50%
Minimum Parking Space Width	2.6m	2.75m

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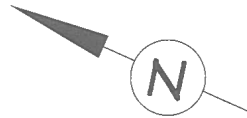
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This Notice issued April 28, 2023.

Address: 435 Maplewood Drive



City of Oshawa  
Economic and Development Services

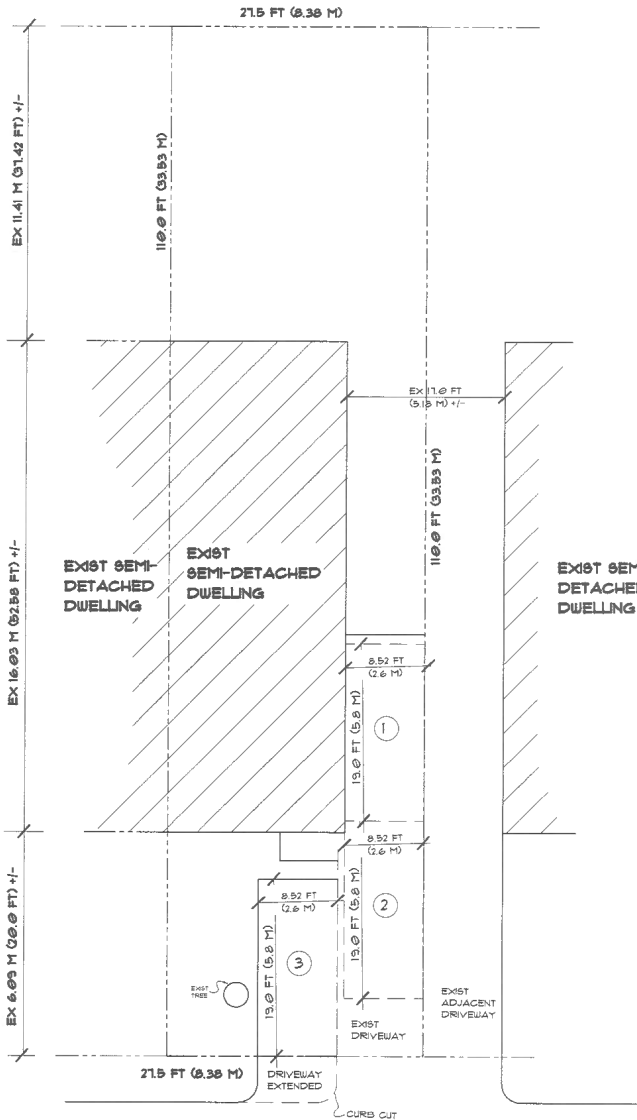


### SITE PLAN

SCALE 3/32" = 1'-0"

INFORMATION FROM  
AS SUPPLIED BY OWNER

AREA OF FRONT YARD	660 FT <sup>2</sup>
AREA OF EXIST DRIVEWAY	219 FT <sup>2</sup>
AREA OF DRIVEWAY EXTENSION	162 FT <sup>2</sup>
TOTAL LANDSCAPED AREA	275 FT <sup>2</sup> (42.27%)



### 435 MAPLEWOOD DR.

PARKING SPACES REQUIRED	2
PARKING SPACES PROVIDED	3



#### HULL DRAFTING & DEVELOPMENT

Specializing in:  
Commercial, Industrial  
and Residential Drafting  
Official Plan Amendments  
Site Plan Agreements  
Rezoning

Phone: 905-728-4848  
Email: hulldrafting@gmail.com

#### SITE PLAN FOR 435 MAPLEWOOD CRES., OSHAWA

-SITE PLAN

SCALE 3/32" = 1'-0" OR AS NOTED	DWG NO ONE OF ONE
FILE NO APRIL 2023	

The undersigned hereby certifies and takes responsibility for the  
accuracy, with the exception of errors and omissions, of the information  
shown on this drawing.

#### QUALIFICATION INFORMATION

Registered Professional Engineer under the Reg. Prof. Eng. Act, R.S.O. 1990, c. 226.

LONNY GIBSON  
NAME SIGNATURE BCIN 107544

HULL DRAFTING & DEVELOPMENT 31906  
FIRM NAME BCIN